

dion seminara architecture

A Little About Us &
Your Design Service
Package Options



What is

Great Design?

“People engage us because they want a great design, but what is a great design?”

“Great design will result in a space where things feel right; everything works well together and there is exceptional balance and proportions that work. Great design achieves the right levels of comfort and sophistication, creating a bright and inviting environment utilising eco-friendly and sustainable inclusions. Considerations of form, function and aesthetics combine creating an atmosphere of peace and harmony. These features are the cornerstone of a dion seminara architecture design.”

Dion Seminara

Principal - dion seminara architecture



Post Design Advice Service

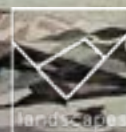
Where your dream home begins to take shape. Our pen-to-paper design service, providing analysis, visual explanation and space planning.



architecture



interiors



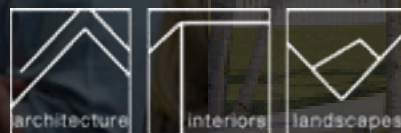
landscapes

MASTERPLAN

Concept Design

Step 1

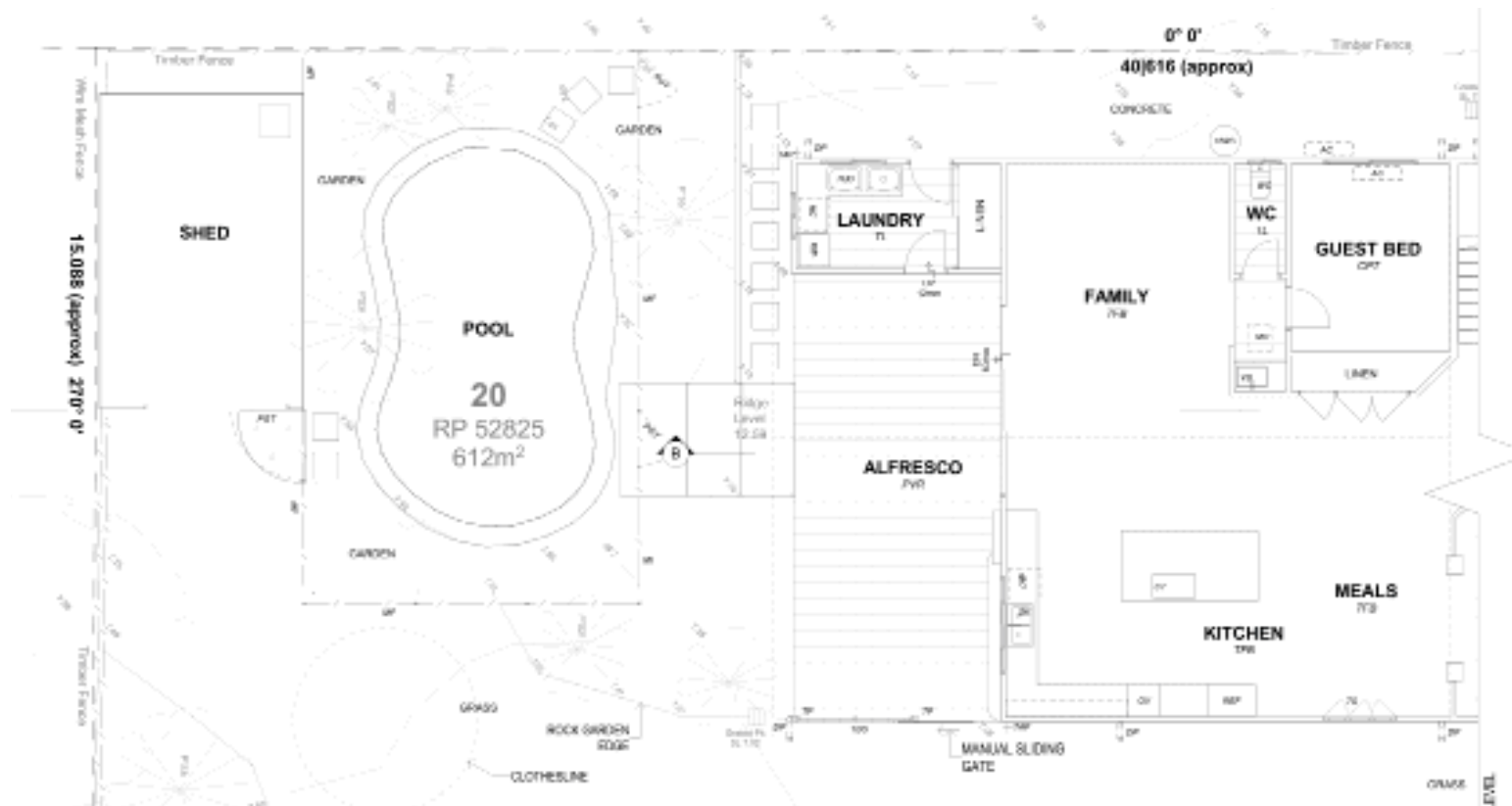
Step 2



Measure Drawings & Sub-Consultants

Required with our Masterplan Concept Design if renovating

If you are renovating, Measured Drawings will be required which will be prepared for you by us (refer to separate costs in our proposal). A spot level and contour survey will be required if your renovating or building a new home. We will coordinate any required subconsultants for your convenience, subconsultant services are included for all types of work. Professional fees for subconsultants are in addition to our own professional fees.



Existing Floorplan

Masterplan

Concept Design (Steps 1 - 2)

Step 1: Our design advice service is the foundation step as a precursor to your concept design.

Step 2: Summary of Requirements - Brief Development



Masterplan

Concept Design *(Steps 1 - 2)*

Step 1: Our design advice service is the foundation step as a precursor to your concept design.

Step 2: Proposed Site Concept Plan/Floorplan for a Renovation



Masterplan

Concept Design *(Steps 1 - 2)*

Step 1: Our design advice service is the foundation step as a precursor to your concept design.

Step 2: Proposed Concept 3D Views for a Renovation

Proposed External Only Concept Views



Masterplan

Concept Design *(Steps 1 - 2)*

Step 1: Our design advice service is the foundation step as a precursor to your concept design.

Step 2: Proposed Site Concept Plan/Floorplan for New Home



Masterplan

Concept Design *(Steps 1 - 2)*

Step 1: Our design advice service is the foundation step as a precursor to your concept design.

Step 2: Proposed Concept 3D Views for New Home

Proposed External Only Concept Views



Masterplan

Concept Design *(Steps 1 - 2)*

Optional indicative Costing by Professional & Independent Cost Planner
Either Quantity Surveyor or Estimator

CONSTRUCTION WORKS - ESTIMATED COSTS		\$	\$m2 GFA
Documents Refer to Schedule of Documents used in the preparation of this estimate			
OPTION 1 - AVERAGE STANDARD			
GROUND FLOOR			
Refurbishments		111,800	3,126
FIRST FLOOR			
Refurbishments		99,400	1,388
New Extension		190,600	3,413
EXTERNAL WORKS			
Pool Pavilion		99,400	3,126
Covered Walkway Link		20,200	3,014
Pool Terrace		36,100	
Address Kitchen and Dining Area Refurbishment		79,800	1,367
Rear Garden		9,400	
Options - not included in cost totals			
Aluminium screens and shutters to Address Area	Extra \$ 23,400		
Aluminium screens and shutters to First Floor Refurbishment	Extra \$ 20,200		
Sub Total		\$11,100	
Allowance for future full design and Specification		\$1,100	
TOTAL ESTIMATED TENDER - NOVEMBER 2016		\$79,300	
OPTION 1			
Exclusions			
Client's Contract: Variation Contingency	\$0		
Structural Engineers' Fees/charges	\$0		
Consultant Fees	\$0		
Local Authority Fees/charges, DA and BA Charges	\$0		
Fire Risk Treatment if required	\$0		
Interior Curtains and Blinds/Louvre Furniture and Fittings	\$0		
Areas or surfaces not disturbed by refurbishments have not been allowed to be repaired	\$0		
Note			
- This estimate has been prepared from schematic sketch drawings and is therefore to be considered as indicative only at this stage, an allowance for development of the design and specification is included above. It is expected that various issues identified during design development will have to be covered by this amount.			
No Allowance has been made for additional scope that may be requested by the client, and we recommend that the client should consider whether it would be prudent to allow for this separately.			

Page 1

Element	Item	Description	Quantity	Unit	Rate	Cost
					\$	\$
		SCOPE OF WORKS				
		Pool Pavilion				
		Demolitions and Alterations				
		Services terminations				
		Alter existing shed structure and prepare for extension				
		Substructure				
		Slab on ground for shed extension				
		Shed Extension				
		Shed extension structure				
		Tilt door to bar area, 2000w x 2000h				
		Door to walkway				
		Anodised aluminium window units; clear glass:				
		Window 2000w x 2130h				
		Anodised aluminium external screens and shutters				
		Multi rod shutters 2000w x 2100h; 5 No Waves				
		Heka Hoods				
		Heka 600mm wide horizontal sun shade device				
		Internal Walls and Doors				
		Timber framed internal lining to external walls, insulated and plasterboard lined				
		Timber framed internal partitions, plasterboard faced				
		Skirting and architraves				
		Internal hollow core door, including frame, hardware and paint				
		Wall Finishes				
		Paint plasterboard walls				
		Shower membranes				
		Wall Bling (PC \$45/m2 Supply)				
		Floor Finishes				
		Timber floor boarding				
		Floor tiling (PC \$45/m2 Supply)				
		Ceiling Finishes				
		Plasterboard ceiling, insulation				
		Plasterboard ceiling				
		Paint plasterboard ceiling				
		Joinery				
		Aluminium lining to gymnasium wall				
		Bar Joinery				
		Barroom joinery				
		Barroom hardware and minor				
		Furniture stools shower cabinet				
		Building Services				
		Hydraulic point including fixture, hot and cold supply, waste, vent and sewer connection				
		AC system and extraction				
		Lighting and power internal				
		Smoke alarm				
		Builder's work in connection with services installations				

Page 1

Ongoing Design Package

To upgrade to our Gold or Platinum Packages, our clients must first engage us for our Masterplan Concept Design

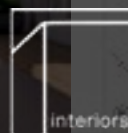


GOLD

Concept Revisions to Plans

Step 3

Step 4



Gold

Concept Revisions to Plans

(Steps 3 - 4)

Step 3: Concept Revisions and Design Development

(Second very important design stage to refine your design solution)



Gold

Concept Revisions to Plans

(Steps 3 - 4)

Step 3: Proposed 3D Internal and External Photo Real Visuals



STAGE 1A - GROUND FLOOR & EXTERNAL WORKS

SCALE 1:100

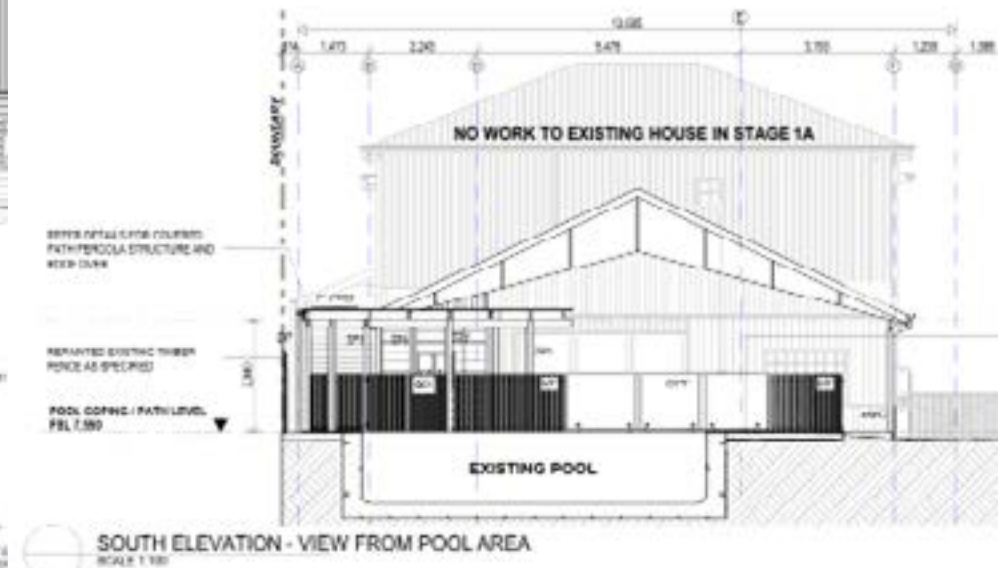
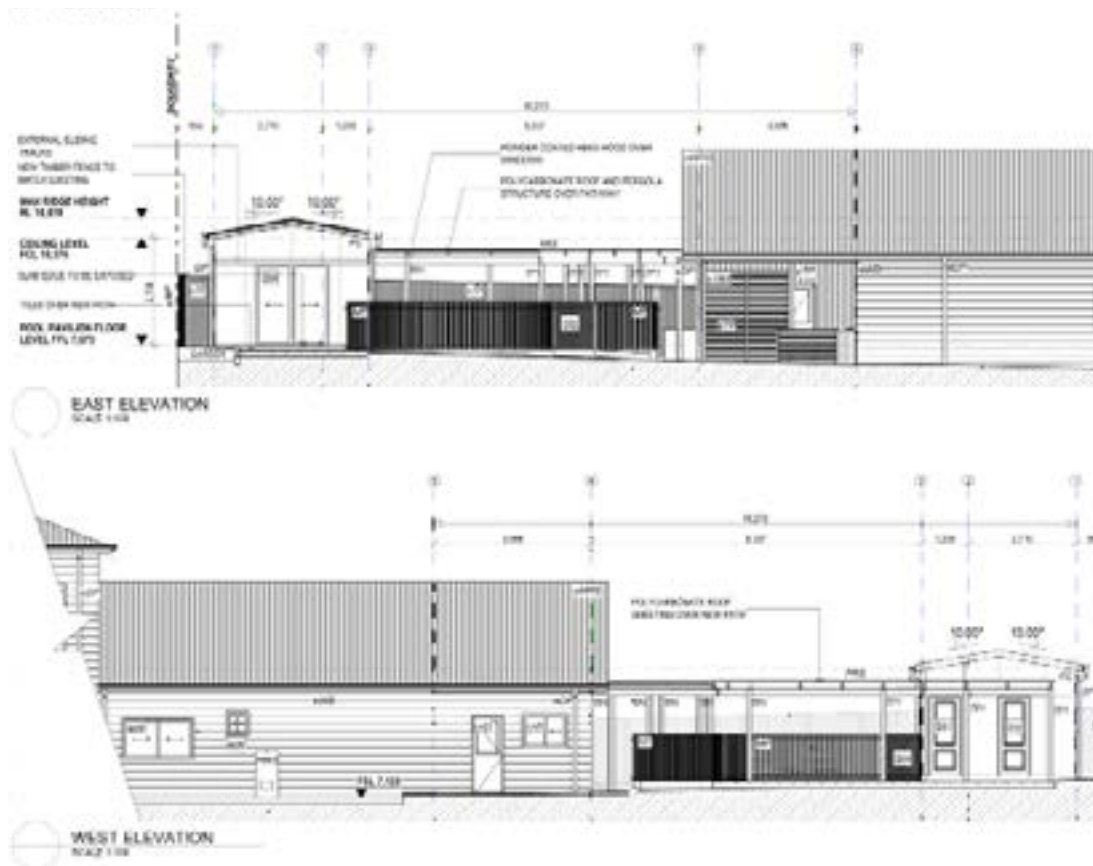
Gold

Concept Revisions to Plans

(Steps 3 - 4)

Step 4: Approval Applications

(Building Application drawing included. Development Application included available as additional fee if needed)



Concept Revisions to Plans

(Steps 3 - 4)

Optional detailed costing by Professional & Independent Cost Planner

Either Quantity Surveyor or Estimator

CONSTRUCTION WORKS - ESTIMATED COSTS - BA		\$	\$/m2 GFA
Documents: Refer to Schedule of Documents used in the preparation of this estimate			
MID RANGE STANDARD SPECIFICATION - BA			
1. EXTERNAL WORKS			
Pergola and Entry Slab	13,000		
Front Entry Stair	22,700		
Eastern Soincase	32,300		
Althosco/Drying Area	130,300	005	
Outdoor Kitchen	60,200	2,230	
Covered Terrace	110,400	3,007	
Outdoor Lounge	21,300	1,200	
HOUSE EXTENSIONS AND RENOVATIONS			
2. Existing House External Alterations	254,300		
3. New Additions	118,300		
4. Ground Floor Alterations	425,200	4,607	
5. First Floor Alterations	342,700	2,822	
6. Dual Living Unit and Garage	391,900	3,321	
New Pathway with Gates and Screen Walls	24,700		
7. POOL HOUSE AND TERRACE			
Pool Deck	102,200	2,847	
Outdoor Lounge and Barbeque	128,500	2,856	
New Bar, Lounge, Billiards	131,700	2,195	
Upper Ground New Storage, WC and Bathroom	59,300	2,985	
Subtotal	2,367,800		
Allowance for Final Design Development	50,000		
TOTAL ESTIMATED COST - JUNE 2021		2,417,800	3,807
Exclusions			
Client's Contract Variation Contingency	BA		
Structural Engineers Inspections	BA		
Consultant Fees	BA		
Local Authority Headworks/DA and BA Charges	BA		
Air conditioning additions or alterations			
Fire Act Treatment if required			
Interior Curtains and Blinds/Loose Furniture and Fittings			
Note			
No Allowance has been made for additional scope that may be requested by the client, and we recommend that the client should consider whether it would be prudent to allow for this separately.			

Element	Item	Description	Quantity	Unit	Rate	Cost
					\$	\$
EXTERNAL WORKS						
Pergola and Entry Slab						
Demolitions						
	1	Item			850.00	850.00
Structures						
	1	m3			340.50	340.50
	1	m3			70.00	70.00
	12	m2			7.00	84.00
	12	m2			7.15	85.80
Pergola						
	10	No			200.00	2,000.00
	24	m			60.00	1,200.00
	8	m			55.00	440.00
	30	m			55.00	1,650.00
	20	m2			25.00	710.00
Building Services						
	1	Item			900.00	900.00
						45.00
	Subtotal					8,380.30
	2.5%					209.51
	17.0%					1,400.27
	18.0%					1,800.01
	10.0%					1,180.91
		Pergola and Entry Slab				13,645.99
Front Entry Stair						
Demolitions						
	61	m2			40.00	2,420.00
	1	Item			550.00	550.00
External Tiling						
	61	m2			153.00	9,333.00
Wood Finishes						
	25	m2			70.00	1,775.00
	Subtotal					14,594.00
	2.5%					364.85
	17.0%					2,541.28
	18.0%					3,148.18
	10.0%					2,050.82
		Front Entry Stair				22,701.84

PLATINUM

Concept Revisions to Build Ready

on top of Gold Package inclusions

Tender Prices and
Review Results

Step 5

Step 6
(Part 1)

Builder 1 \$388,756.00
Builder 2 \$376,456.82
Builder 3 \$344,820.00



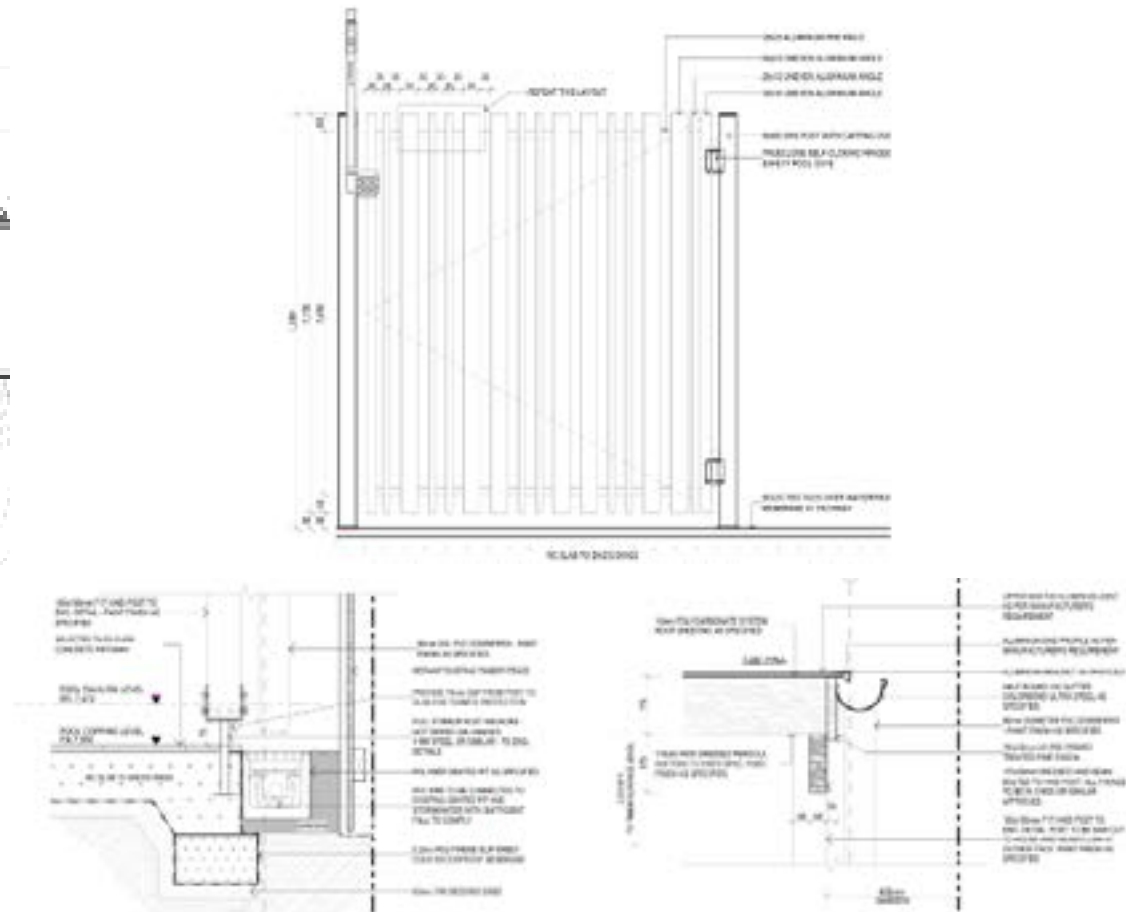
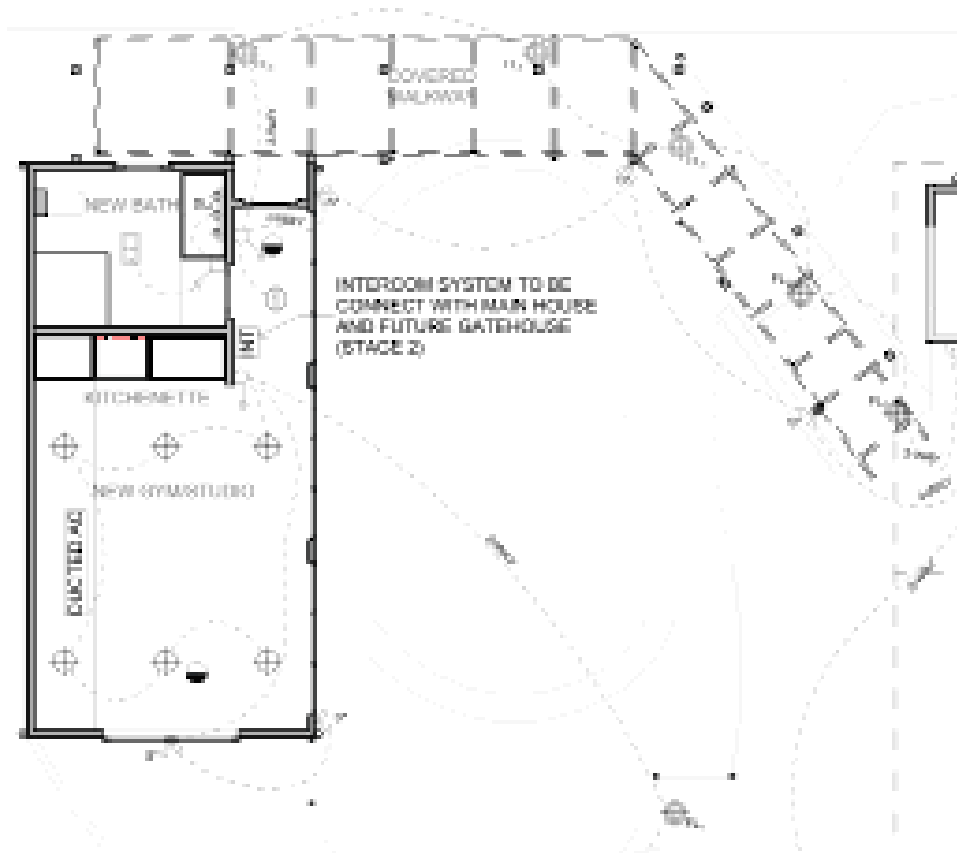
Platinum

Concept Revisions to Build Ready

(Steps 3 - 6 Part 1)

Step 5: Construction Documentation

(Including original construction details, electrical and lighting layouts and reflective ceiling plans and specifications.)



Platinum

Concept Revisions to Build Ready

(Steps 3 - 6 Part 1)

Optional detailed costing by Professional & Independent Cost Planner

Either Quantity Surveyor or Estimator

CONSTRUCTION WORKS - ESTIMATED COSTS - BA		\$	\$/m2 GFA
Documents Refer to Schedule of Documents used in the preparation of this estimate			
MID RANGE STANDARD SPECIFICATION - BA			
1 EXTERNAL WORKS			
Pergola and Entry Slab	13,000		
Front Entry Stair	22,700		
External Staircase	32,300		
Address/Drying Area	128,300	680	
Outdoor Kitchen	60,300	3,330	
Covered Terrace	110,400	3,007	
Outdoor Lounge	31,300	1,200	
HOUSE EXTENSIONS AND RENOVATIONS			
2 Existing House External Alterations	254,300		
3 New Additions	118,800		
4 Ground Floor Alterations	425,300	4,867	
5 First Floor Alterations	342,700	2,622	
6 Dual Living Unit and Garage	391,300	3,321	
New Pathway with Gates and Screen Walls	24,700		
7 POOL HOUSE AND TERRACE			
Pool Deck	182,200	2,847	
Outdoor Lounge and Barbecue	128,500	2,856	
New Bar, Lounge, Billiards	131,700	2,195	
Upper Ground New Storage, WC and Bathroom	38,300	2,805	
Subtotal		2,367,800	
Allowance for Final Design Development		50,000	
TOTAL ESTIMATED COST - JUNE 2021		2,417,800	3,857
Exclusions			
Client's Contract Variation Contingency	\$a		
Structural Engineer Inspections	\$a		
Consultant Fees	\$a		
Local Authority Headworks/GA and BA Charges	\$a		
Air conditioning additions or alterations			
Fire Axi Treatment if required			
Interior Curtains and Blinds/Loose Furniture and Fittings			
Note			
No Allowance has been made for additional scope that may be requested by the client, and we recommend that the client should consider whether it would be prudent to allow for this separately.			

Element	Item	Description	Quantity	Unit	Rate	Cost
					\$	\$
EXTERNAL WORKS						
Pergola and Entry Slab						
		Demolitions	1	Item	850.00	850.00
		Demolish part of existing driveway				
		Structure	1	m3	340.50	340.50
		Supply and place concrete 32Mpa in slab on ground 100mm thick	1	m3	70.00	70.00
		Concrete pumping	12	m2	7.00	84.00
		Rebar 6mm concrete slab	12	m2	7.18	86.16
		BLU2 fabric reinforcement in slab				
		Pergola	10	No	200.00	2,000.00
		450 Dia bored pier 1000 deep	24	m	50.00	1,200.00
		Timber post, 100 x 100	8	m	55.00	440.00
		200 x 50 beam	30	m	55.00	1,650.00
		200 x 50 pergola joint	20	m2	35.00	710.00
		Paint pergola columns and beams				
		Building Services	1	Item	900.00	900.00
		External LAD lighting				
		Builders work in connection with services installations				
		Subtotal	2.8%			8,360.30
		Sundries	17.0%			200.51
		Contractors Preliminaries & Supervision	18.0%			1,480.27
		Contractors Margin	10.0%			1,800.01
		GST	10.0%			1,195.91
		Pergola and Entry Slab				13,845.00
Front Entry Stair						
		Demolitions	60	m2	40.00	2,520.00
		Remove existing tiles	1	Item	550.00	550.00
		Demolish roof at top of existing stairs				
		External tiling	60	m2	150.00	9,000.00
		Tiling to treads and risers of front entry stairs (PC \$44.09/m2 Supply)				
		Wall Finishes	25	m2	75.00	1,875.00
		Coloured render to staircase walls, single coat				
		Subtotal	2.8%			14,864.00
		Sundries	17.0%			364.60
		Contractors Preliminaries & Supervision	18.0%			2,541.25
		Contractors Margin	10.0%			3,146.18
		GST	10.0%			2,953.80
		Front Entry Stair				22,701.84

Platinum

Concept Revisions to Build Ready

(Steps 3 - 6 Part 1)

Step 6 (Part 1): Tender (With 3 Builders or Negotiation Process)

Following construction documentation, our tender and contract negotiation process will aid the selection of your project's builder. In Tender, this is the stage where we really make life easier for you. Finding, negotiating and liaising with builders can be stressful. As part of this service we:

- Arrange for tenders from suitably qualified builders
- Negotiate with builders on your behalf to get the best terms and pricing
- Help you assess each tender and award the project to the winning builder
- Prepare a contract on your behalf
- Arrange for signing and execution of contracts by all parties

Proposed Alterations to Your Residence

Tender Outcome and Review

Example: Renovation Project Tender
from Real Tender Results

- **Builder 1:** \$256,135.00
- **Builder 2:** \$279,640.00
- **Builder 3:** \$288,273.03

Proposed New Residence

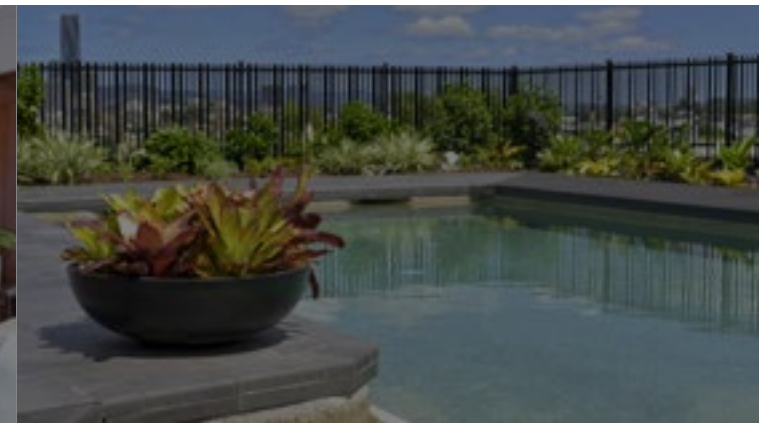
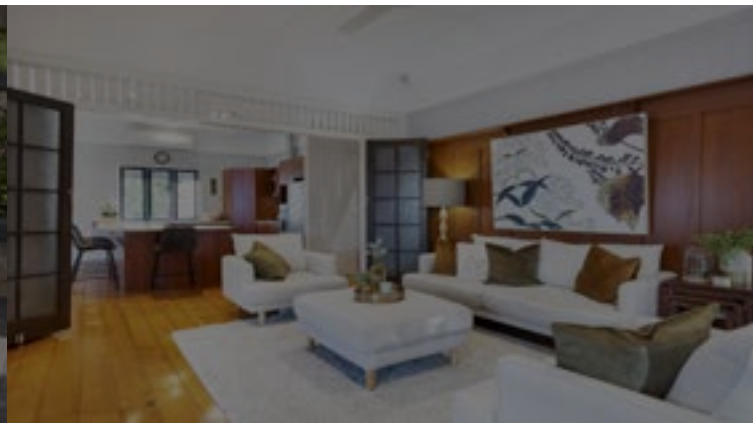
Tender Outcome and Review

Example: New Home Project Tender
from Real Tender Results

- **Builder 1:** \$847,062.85
- **Builder 2:** \$876,000.00
- **Builder 3:** \$959,478.00
- **Builder 4:** \$1,166,099.00

Additional Services

*Available for
Gold & Platinum*



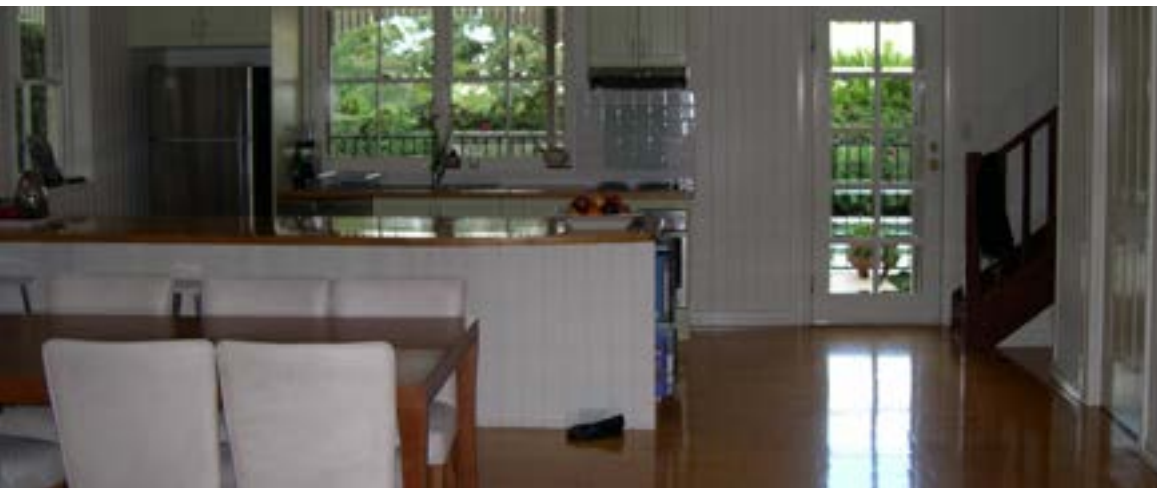
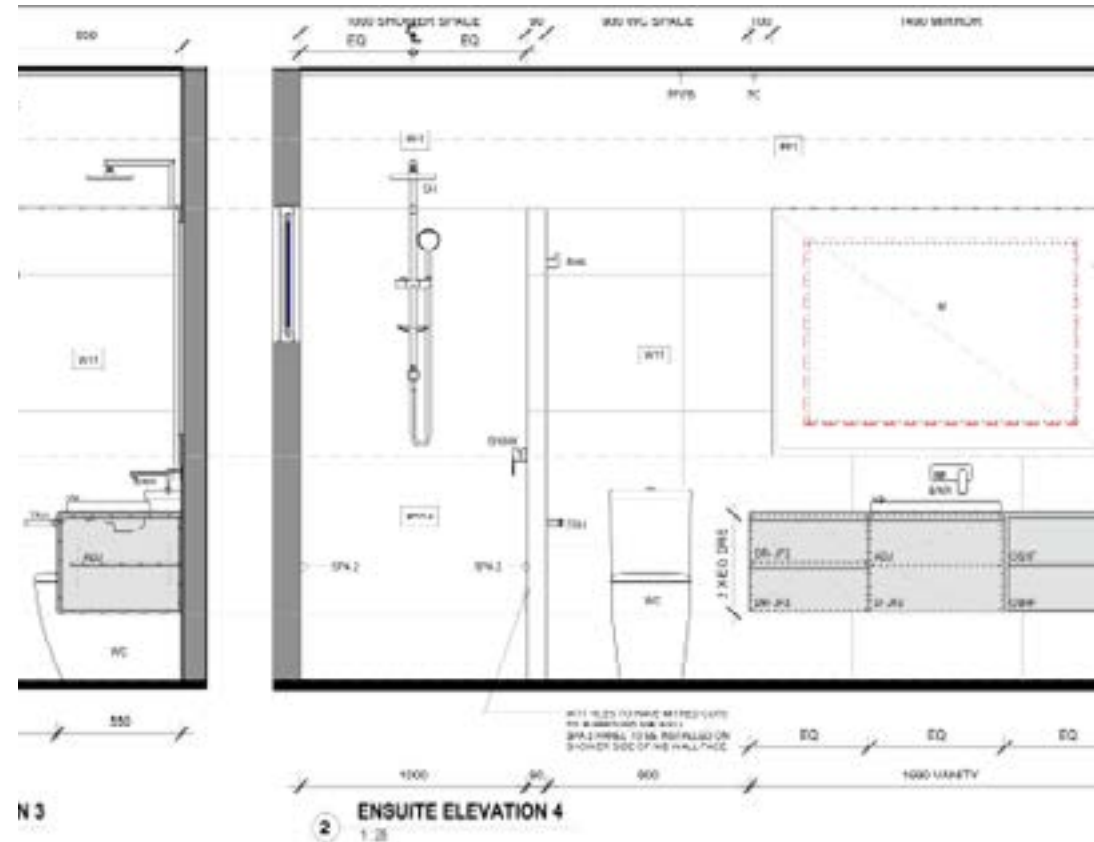
Additional services

Available on Gold & Platinum

Interior Design

One of the big advantages we offer to our clients is an all-encompassing design service beyond just the overall external architecture of your project. It is important that all aspects of a project complement each other; therefore, we also offer the following in-house services:




- Interior design construction drawings and schedules
- Electrical layout and lighting scheme
- Storage needs evaluation and solutions
- Living areas, Media rooms, entertainment units
- Kitchen, Bathroom & Ensuites design
- Studies, wardrobes, cellars and laundries.



Additional services

Available on Gold & Platinum

Interior Design (Cont.)

SH-04 FIXTURES & FITTINGS SCHEDULE							
Code	Item	Location	Description	Finish	Image	Supplier Details	
SH	Overhead and hand shower ensemble	Ensuite	Range: Abey 'Curve' chrome twin shower. Code: RHB07	Finish: Chrome finish.		Stocks Appliances Contact: Ben Stevens Em: ben.stevens@stocksappliances.com.au Ph: 07 3862 3855	
Code	Item	Location	Description	Finish / Colour	Size	Image	Supplier Details
FLOORING							
VL1	Karndean Vinyl flooring	Interior Flooring Generally	Range: Karndean LooseLay Longboard Vinyl flooring. PU Coated.	Colour: Mountain spotted gum. Code: LLP316	Plank Size: 1500mm x 250mm. Thickness: 4.5mm		Karndean design flooring Contact: Tim Hunting Em: timr@karndean.com.au Ph: 0413 444 802
ENSUITE							
DR	Vanity drawer runners	Ensuite vanity drawers	Blum Tandem drawer system with blumotion hardware generally. Drawers inners and side gables to be JF5A finish to match drawer face. Handles to be sharknose finger pull handles integrated into the cabinetry design.	Colour: Polytec 'Florentine Walnut'			Blum Contact: 07 3135 9490

Additional services

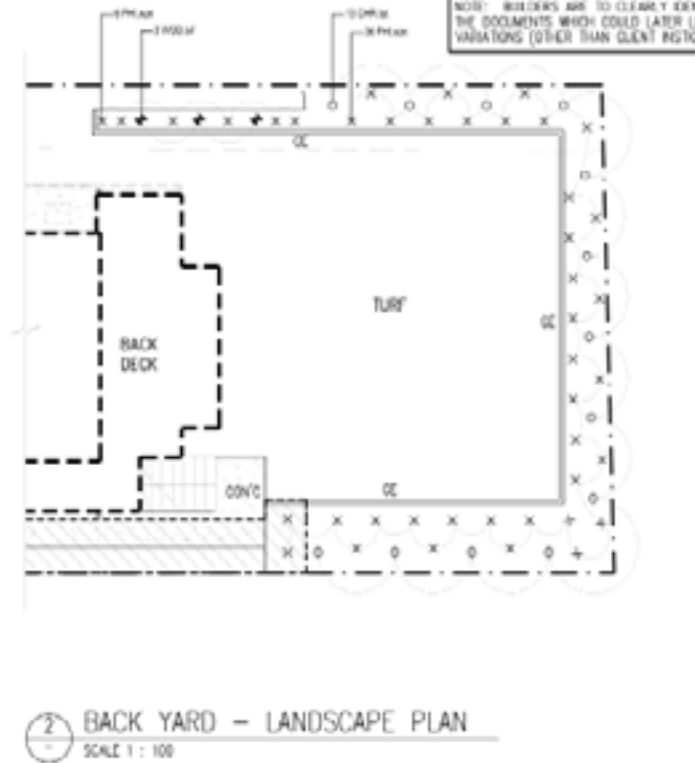
Available on Gold & Platinum

Garden Plant Selection & Layout

One of the big advantages we offer to our clients is an all-encompassing design service beyond simple architecture. It is important that all aspects of a project complement each other; therefore, we also offer the following in-house services:

Softscape gardening design:

- Live horticultural elements of the landscape
- Garden plant selection and planting placement
- Soil, mulch and colour selection to complement the home's exterior



Additional services

Available on Gold & Platinum

Landscape Design

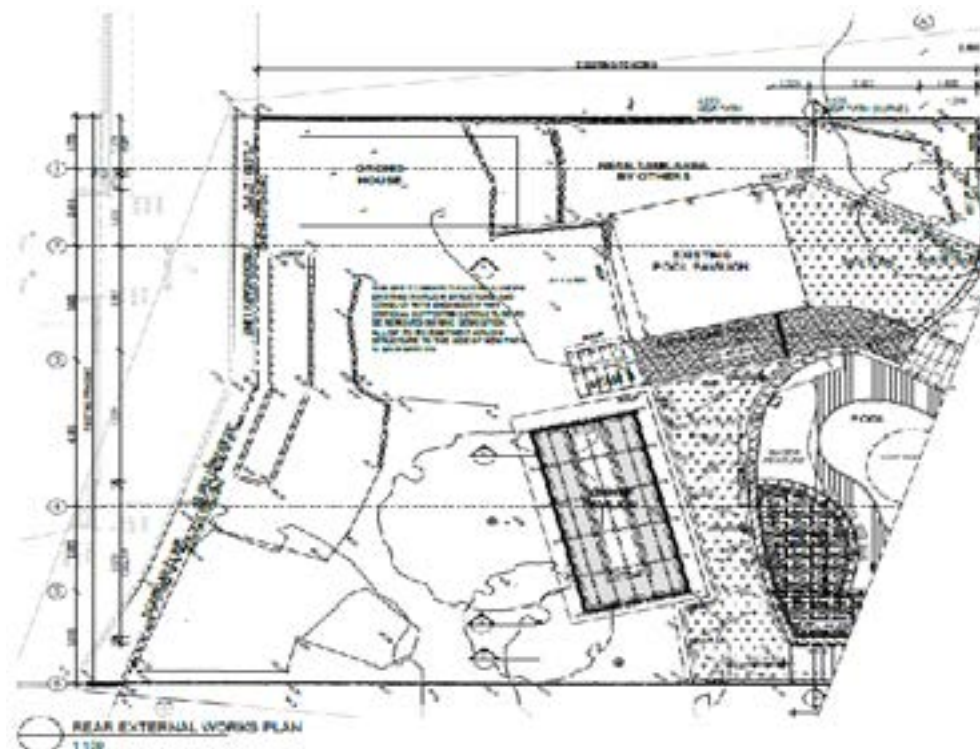
dion seminara architecture

DESIGN ENHANCING LIFE

External areas that connect with the rest of your home are vitally important. Landscaping and external works to complement your architectural building work will provide an integrated, connected result throughout. It is important that all aspects of a project complement each other; therefore, we also offer the following landscape in-house services:

Hardscape and external works design:

- Landscape design construction drawings and schedules
- Retaining walls, fencing, gatehouses, pools, water features and external entertaining spaces.



Additional services

Available on Platinum

dion seminara architecture

DESIGN ENHANCING LIFE

Staging

Depending on your project's budget and timeline, you can choose to build your project in stages rather than in one go. We will create a masterplan to renovate and build towards your ultimate home in stages to meet your budgetary requirements. This allows your home to grow as your budget grows.

Benefits of Staging:

- Keeps your repayments at a manageable level
- Helps you avoid the risk of overcapitalising
- Avoids additional expense and poor design with a structured masterplan for the build
- Have a home that still looks complete and feels comfortable, even between building stages and project completion
- Gives you flexibility to make changes along the way if your lifestyle needs and requirements change
- Coincide and prioritise the building stages with the various stages of your life
- Gives you the improvements you may not have been able to afford during the initial build
- Get your ultimate dream home in a way that you can still afford



architecture | interior design | landscape design

Additional services

Available on Gold and Platinum

Cost Management Services

This cost management service is a detailed estimate optional service where we offer full project management of your client's project cost.

Our detailed extent of works document and detailed costings consider all aspects of your project. Our detailed project costings are completed by our professional Quantity Surveyor. This service is strongly recommended for clients who are very budget conscious.

CONSTRUCTION WORKS - ESTIMATED COSTS		\$
Documents Refer to Schedule of Documents used in the preparation of this estimate		
DO DOCUMENTATION - MID TO UPPER STANDARD SPECIFICATION		
A. Front Garden Works		140,212
Front Fence and Entry Path	Front Garden Works	140,212
B. Front Yard External Works		76,364
Front Yard External Works		76,364
C. Side External Works		172,216
Western Yard		22,814
Eastern Yard		47,112
Carport		47,781
Rear Eastern Yard		35,511
D. Alterations to Existing House		172,216
Existing House		48,349
Kitchen and rear Outdoor Room		98,890
Laundry		15,839
E. Pool Area and Covered Terrace		100,444
Pool Area		174,481
Covered Terrace		125,884
F. Cellar/Basement		100,345
Cellar/Basement		100,345
G. Courtyard		126,729
Courtyard		126,729
H. Reinforced Pond and Tree Tower		119,385
Reinforced pond		119,385
Tree Tower	Optional	119,385
I. Back Garden Works		227,717
Backyard walls		76,426
Back Garden Works		76,426
J. Remedial Work - by Independent Contractor		7,790
Repairing of existing house exterior		7,790
Remedial Work - by Independent Contractor		7,790
Cost reduction if all savings adopted - refer separate summary		368,880
ESTIMATED PROJECT COSTS		\$ 1,728,791
CLIENT COSTS Refer Documents and Notes		
Note - this estimate has been prepared from DO drawings and is therefore to be considered as approximate only at this stage		

1.0 Extent of Works Schedule

1.1 Extent of Work & Required Isolated Cost Centres

Cost Centre	Details
1. Site levelling and boundary retaining walls	<ul style="list-style-type: none"> New brick retaining walls on North, South and West boundary Fill up where needed and Level land surface with slight slope Street for drainage purposes, as per drawings.
2. Front Fence/walls with gatehouse & Entry Path	<p>Demolition</p> <ul style="list-style-type: none"> Remove existing fencing. <p>Fence/wall</p> <ul style="list-style-type: none"> New 1800mm stone cladbed brick wall as per drawings. New 1800mm powder coated aluminium fence on powder co galvanium rails, as per drawings. New 136 marble grade letterbox and anodised aluminium lid New stone cladbed brick pillars and low brick walls as per de <p>Garden Outside Gatehouse</p> <ul style="list-style-type: none"> 200 kerb kerb garden edge outside gatehouse, as per detail Repare garden with clean fill and 400mm deep premium oq and topsoil plus free mulch. Automatic irrigation system <p>Entry Path</p> <ul style="list-style-type: none"> New concrete path at front entry. <p>Gatehouse & Gate</p> <ul style="list-style-type: none"> Gatehouse framing to be 180x50x3mm aluminium RHS weld mitered joint smooth. Roof to gatehouse to be 3mm "U" shaped steel sheet to fit ponds - Fold at the end with dripping nose, as per detail. Soffit to gatehouse to be 2mm steel sheet. Colourbond flashing/ropeing to gatehouse. Custom powder coated aluminium gate to gatehouse - 40x2 aluminium frame and two 40x20mm frame rails fixed to the 3 of the gate. Front Face of gate to be 40x20mm vertical slats bottom with an evenly spacing of approximately 30mm. Gate self-closing fingers and lock box lever handle with key on top and gate release. <p>Driveway Gate</p> <ul style="list-style-type: none"> Custom anodised powder coated aluminium sliding gate to 1 - 40x20mm aluminium frame and two 40x20mm frame rails if the back face of the gate. Front Face of gate to be 40x20mm aluminium panels with an evenly spacing of approximately 30

Table 1.1

1.2 Schedule of Provisional Sums

An amount of money included in the contract documents to cover works proposed as part of the contract for which full information cannot be made available prior to the calling of tenders and letting of a contract. A provisional sum includes labour, materials and all costs and margins.

Ref	Item Description	Provisional Sum Incl. GST
	Roof Sheetting	
	Supply of Klp-Lite 700 H-Strength Metal Roof Sheetting - Coolmax Colour	\$40/sqm
	Supply of Straight Flashing	\$25/m
	Supply of Curve Flashing	\$20/m
	Install by recommended roof installer	Total Allow for \$21,650
	Wall and Cladding	
	Supply of Brizaurex Linear Beech Boards	Allow for \$45.65/sqm
	Supply of Composite Surround Base (Whiterite Cladding as per elevations)	Allow for \$232.82 per sheet (3000x1200x8mm sheet)
	Supply of panel rib Cladding	Allow for \$28.60/sqm
	Supply of Dekor Free Form Stone Cladding as per elevations	Allow for \$107.80/sqm
	Supply of Dekor Loose Corners Stone Cladding as per elevations	Allow for \$115.00/sqm
	Installation of Stone Cladding	Allow for \$120.00/sqm
	Tiles / Flooring / Decking	
	Supply of Merino Tiles Limestone Portland Floor Tiles 900x900 (PS Slip rate) as per floor plans	
	Supply and install of Vinyl Flooring as specified (National Flooring Distributors)	Allow \$55/sqm
	Optional alternative	
	Supply and install of Vinyl Flooring as specified (Kandew)	Allow \$75/sqm
	Entry to garage	
	Windows and doors	

Additional Services

Available on Platinum

Contract Administration

Contract Administration sees us project manage the construction phase, ensuring the project's completion under the terms of the contract. This is to preserve design intent and aesthetics of the build.

This is where we act on your behalf to ensure that the project is completed in accordance with the terms and conditions of the contract. As part of this service we:

- Visit the construction site periodically to ensure correct material selection, design integrity and quality of work
- Report back to you regarding progress and standard of work
- Answer any questions or address any concerns you, the builder, or any specialist consultants have, or assess construction progress and issue progress certificates
- Release progress payments upon satisfactory completion of stages
- Liaise with the builder on your behalf on such things as variations, delays, material unavailability, etc.
- Assess and report back to you regarding any requests by the builder for variations or time extensions
- Make any required adjustments to monetary sums such as prime costs and provisional sums
- Notify all parties regarding any defective or incomplete work
- Assess practical completion and issue notice of practical completion
- Carry out defect inspections.



Stress Free Solutions

“Dion and his team not only helped us achieve a beautiful family home, they also gave us a peace of mind ...”

Matthew & Angela • SPRINGWOOD, BRISBANE

Building or renovating can often seem stressful. Things like dramatically sloping blocks, limited space or tired architecture that devalues a property are just a few examples of things that can cause frustration and anxiety.

In just one consultation we can present you with solutions that will leave you feeling confident and inspired. We can overcome these challenges and help take the worry out of your project.

One of our great strengths is taking the complicated and making it simple, turning problems into solutions. Our vast experience and design skill allows us to find effective ways to fix even seemingly complex challenges.

Our team has a wealth of experience in both design and construction, enabling us to offer you practical, intuitive and cost effective solutions.

Working with dion seminara architecture allows you to relax and enjoy the process, safe in the knowledge that your project will meet your stated objectives.



Aesthetic form balance, proportion and function

Ensuring your home is your style, your space,
your feeling and your sanctuary



"My goal for my clients is to ensure they have a great living environment. I am passionate about what I do and I am a perfectionist. I want to ensure you have the best-designed outcome that sits within your means.

As I say, God is in the detail..."

Dion Seminara • PRINCIPAL ARCHITECT

We look forward to working with you.

07 3899 9450

dsarchitecture.com.au

Suite 1 6A Thynne Rd Morningside QLD 4170