

dion seminara architecture

A Little About Us &  
Your Design Service  
Package Options



*What is*

# Great Design?

“People engage us because they want a great design, but what is a great design?”

“Great design will result in a space where things feel right; everything works well together and there is exceptional balance and proportions that work. Great design achieves the right levels of comfort and sophistication, creating a bright and inviting environment utilising eco-friendly and sustainable inclusions. Considerations of form, function and aesthetics combine creating an atmosphere of peace and harmony. These features are the cornerstone of a dion seminara architecture design.”

*Dion Seminara*

Principal - dion seminara architecture



# *Post Design Advice Service*

Where your dream home begins to take shape. Our pen-to-paper design service, providing analysis, visual explanation and space planning.

# MASTERPLAN

## *Concept Design*

Step 1

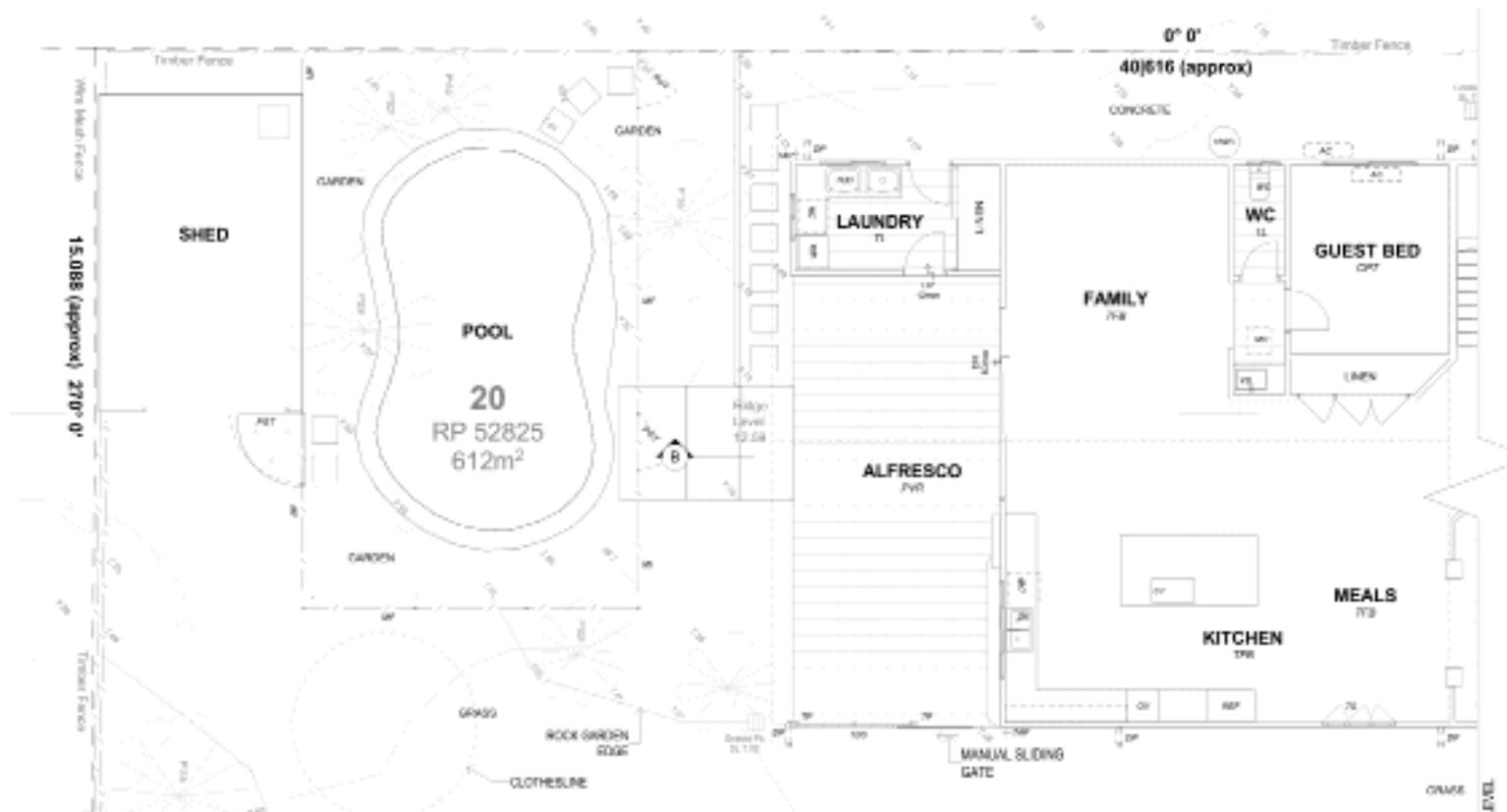
Step 2



# Measure Drawings & Sub-Consultants

## Required with our Masterplan Concept Design if renovating

If you are renovating, Measured Drawings will be required which will be prepared for you by us (refer to separate costs in our proposal). A spot level and contour survey will be required if your renovating or building a new home. We will coordinate any required subconsultants for your convenience, subconsultant services are included for all types of work. Professional fees for subconsultants are in addition to our own professional fees.



Existing Floorplan

# Masterplan

# Concept Design *(Steps 1 - 2)*

Step 1: Our design advice service is the foundation step as a precursor to your concept design.

## Step 2: Summary of Requirements - Brief Development



# Masterplan

## Concept Design *(Steps 1 - 2)*

Step 1: Our design advice service is the foundation step as a precursor to your concept design.

Step 2: Proposed Site Concept Plan/Floorplan for a Renovation



# Masterplan

## Concept Design *(Steps 1 - 2)*

*Step 1: Our design advice service is the foundation step as a precursor to your concept design.*

**Step 2: Proposed Concept 3D Views for a Renovation**

*Proposed External Only Concept Views*



# Masterplan

## Concept Design *(Steps 1 - 2)*

Step 1: Our design advice service is the foundation step as a precursor to your concept design.

Step 2: Proposed Site Concept Plan/Floorplan for New Home



# Masterplan

## Concept Design *(Steps 1 - 2)*

*Step 1: Our design advice service is the foundation step as a precursor to your concept design.*

**Step 2: Proposed Concept 3D Views for New Home**

*Proposed External Only Concept Views*



# Masterplan

# Concept Design *(Steps 1 - 2)*

Optional indicative Costing by Professional & Independent Cost Planner  
 Either Quantity Surveyor or Estimator

CONSTRUCTION WORKS - ESTIMATED COSTS		\$	Est'd GFA
<b>Documents</b> Refer to Schedule of Documents used in the preparation of this estimate			
<b>OPTION 1 - AVERAGE STANDARDS</b>			
<b>GROUND FLOOR</b>			
Refurbishments		111,800	3,124
<b>FIRST FLOOR</b>			
Refurbishments		98,400	1,388
New Extension		100,600	3,413
<b>EXTERNAL WORKS</b>			
Pool Pavilion		30,400	3,126
Covered Walkway Link		20,200	3,014
Pool Terrace		30,100	
Address Kitchen and Dining Area Refurbishment		25,800	1,367
Rear Garden		8,400	
<b>Options - not included in cost totals</b>			
Aluminium covers and shutters to Address Area	Extra \$ 23,400		
Aluminium covers and shutters to First Floor Refurbishment	Extra \$ 20,200		
	<b>Sub Total</b>	\$11,100	
	Allowance for future full design and specification	\$1,100	
<b>TOTAL ESTIMATED TENDER - NOVEMBER 2019</b>		<b>OPTION 1</b>	<b>\$12,200</b>
<b>Exclusions</b>			
Client's Contract: Variation Contingency		\$0	
Structural Engineer's Fees/Retainer		\$0	
Consultant Fees		\$0	
Local Authority Fees/Retainer, DA and BA Charges		\$0	
Fire Ass Treatment if required		\$0	
Interior Curtains and Blinds/Louvre Furniture and Fittings		\$0	
Areas or surfaces not disturbed by refurbishments have not been allowed to be repainted		\$0	
<b>Note</b>			
- This estimate has been prepared from schematic sketch drawings and is therefore to be considered as indicative only at this stage, an allowance for development of the design and specification is included above. It is expected that various issues identified during design development will have to be covered by this amount.			
No Allowance has been made for additional scope that may be requested by the client, and we recommend that the client should consider whether it would be prudent to allow for this separately.			

Element	Item	Description	Quantity	Unit	Rate	Cost
					\$	\$
<b>SCOPE OF WORKS</b>						
<b>Pool Pavilion</b>						
<b>Demolitions and Alterations</b>						
Services terminations						
Alter existing shed structure and prepare for extension						
Substitutions						
SAB on ground for shed extension						
<b>Shed Extension</b>						
Shed extension structure						
Tim door to bal area, 2000w x 2000h						
Door to walkway						
Anodised aluminium window units; clear glass:						
Window 2000w x 2130h						
Anodised aluminium external screens and shutters						
Multi rod shutters 2000w x 2100h; 5 No Waves						
Haka hoods						
Haka 600mm wide horizontal sun shade device						
<b>Internal Walls and Doors</b>						
Timber framed internal lining to external walls; insulated and plasterboard lined						
Timber framed internal partitions; plasterboard faced						
Skirting and architraves						
Internal hollow core door, including frame, hardware and paint						
<b>Wall Finishes</b>						
Paint plasterboard walls						
Shower membranes						
Wall tiling (PC \$45/m <sup>2</sup> Supply)						
<b>Floor Finishes</b>						
Timber floor boarding						
Floor tiling (PC \$45/m <sup>2</sup> Supply)						
<b>Ceiling Finishes</b>						
Plasterboard ceiling insulation						
Plasterboard ceiling						
Paint plasterboard ceiling						
<b>Joinery</b>						
Mirror lining to gymnasium wall						
Bar Joinery						
Bathroom joinery						
Bathroom hardware and mirror						
Furniture stools shower cabinet						
<b>Building Services</b>						
Hydraulic point including fixtures, hot and cold supply, waste, vent and sewer connection						
AC system and extraction						
Lighting and power internal						
Smoke alarm						
Builders work in connection with services installations						

# *Ongoing Design Package*

To upgrade to our Gold or Platinum Packages, our clients must first engage us for our Masterplan Concept Design



# GOLD

## *Concept Revisions to Plans*

Step 3

Step 4





*Gold*

# Concept Revisions to Plans

*(Steps 3 - 4)*

Step 3: Proposed 3D Internal and External Photo Real Visuals



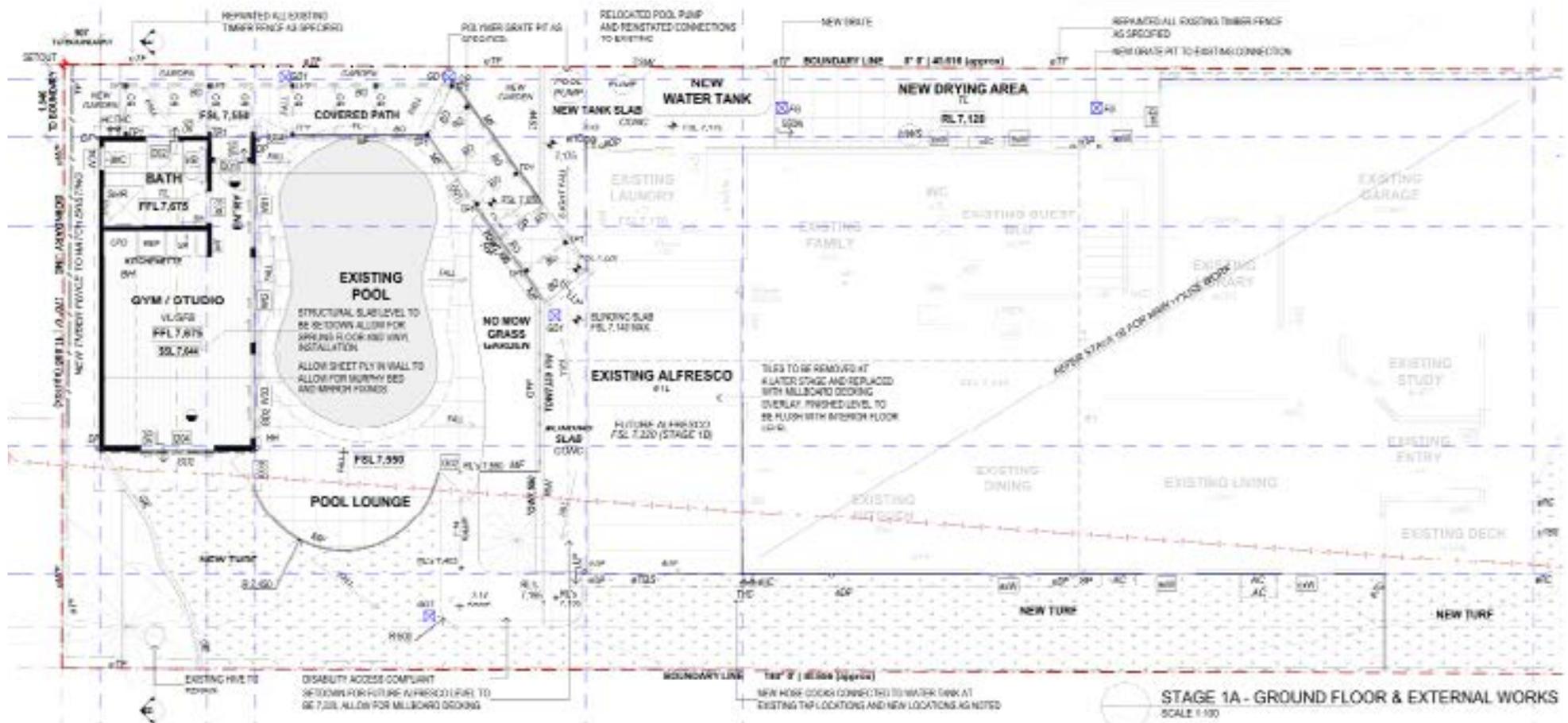
Gold

# Concept Revisions to Plans

(Steps 3 - 4)

## Step 4: Approval Applications

(Building Application drawing included. Development Application included available as additional fee if needed)



Gold

# Concept Revisions to Plans

(Steps 3 - 4)

## Step 4: Approval Applications

(Building Application drawing included. Development Application included available as additional fee if needed)



EAST ELEVATION  
SCALE 1/8" = 1'-0"



WEST ELEVATION  
SCALE 1/8" = 1'-0"



SOUTH ELEVATION - VIEW FROM POOL AREA  
SCALE 1/8" = 1'-0"

# Concept Revisions to Plans

(Steps 3 - 4)

Optional detailed costing by Professional & Independent Cost Planner  
 Either Quantity Surveyor or Estimator

CONSTRUCTION WORKS - ESTIMATED COSTS - BA		\$	\$/sq GFA
Documents	Refer to Schedule of Documents used in the preparation of this estimate		
<b>MID-RANGE STANDARD SPECIFICATION - BA</b>			
<b>1. EXTERNAL WORKS</b>			
	Pergola and Entry Slab	13,000	
	Front Entry Stair	22,700	
	Eastern Staircase	32,300	
	Athleisure/Drying Area	130,300	685
	Outdoor Kitchen	60,200	2,230
	Covered Terrace	116,600	3,057
	Outdoor Lounge	31,200	1,200
<b>HOUSE EXTENSIONS AND RENOVATIONS</b>			
2	Existing House External Alterations	254,300	
3	New Additions	118,200	
4	Ground Floor Alterations	425,200	4,667
5	First Floor Alterations	542,700	2,823
6	Dual Living Unit and Garage	391,900	3,321
	New Pathway with Gates and Screen Walls	34,700	
<b>7. POOL HOUSE AND TERRACE</b>			
	Pool Deck	162,200	2,847
	Outdoor Lounge and Barbecue	128,500	2,856
	New Bar, Lounge, Billiards	131,700	2,195
	Upper Ground New Storage, WC and Bathroom	59,300	2,655
	Subtotal	2,367,800	
	Allowance for Final Design Development	50,000	
<b>TOTAL ESTIMATED COST - JUNE 2021</b>		<b>2,417,800</b>	<b>3,057</b>
<b>Exclusions</b>		\$s	
Client's Contract Variation Contingency		\$s	
Structural Engineers Inspections		\$s	
Consultant Fees		\$s	
Local Authority Headworks/DA and BA Charges		\$s	
Air conditioning additions or alterations			
Fire Act Treatment if required			
Interior Curtains and Blinds/Loose Furniture and Fittings			
<b>Note</b>			
No Allowance has been made for additional scope that may be requested by the client, and we recommend that the client should consider whether it would be prudent to allow for this separately.			

Element	Item	Description	Quantity	Unit	Rate	Cost
					\$	\$
<b>EXTERNAL WORKS</b>						
		<b>Pergola and Entry Slab</b>				
		<i>Demolitions</i>				
		Demolish part of existing driveway	1	Item	650.00	650.00
		<i>Structure</i>				
		Supply and place concrete 32Mpa in slab on ground 100mm thick	1	m3	340.50	340.50
		Concrete pumping	1	m3	70.00	70.00
		Power finish concrete slab	12	m2	7.00	84.00
		SLEC fabric reinforcement in slab	12	m2	7.15	85.80
		<i>Pergola</i>				
		450 Dia bored pier 1000 deep	10	No	200.00	2,000.00
		Timber post, 100 x 100	24	m	60.00	1,200.00
		200 x 50 beam	8	m	55.00	440.00
		200 x 50 pergola post	30	m	60.00	1,800.00
		Plant pergola columns and beams	28	m2	25.00	715.00
		<i>Building Services</i>				
		External LAC lighting	1	Item	900.00	900.00
		Builder's work in connection with services installations				45.00
		Subtotal				8,380.30
		Sundries	2.5%			209.51
		Contractors Preliminaries & Supervision	17.0%			1,404.27
		Contractors Margin	18.0%			1,808.01
		GST	10.0%			1,188.91
		<b>Pergola and Entry Slab</b>				<b>13,645.99</b>
		<b>Front Entry Stair</b>				
		<i>Demolitions</i>				
		Remove existing tiles	63	m2	40.00	2,520.00
		Demolish roof at top of existing stairs	1	Item	500.00	500.00
		<i>External Tiling</i>				
		Tiling to treads and risers of front entry stairs (PC \$44.95/m2 Supply)	63	m2	153.00	9,639.00
		<i>Wall Finishes</i>				
		Coloured render to staircase walls, single coat	25	m2	70.00	1,775.00
		Subtotal				14,539.00
		Sundries	2.5%			363.48
		Contractors Preliminaries & Supervision	17.0%			2,471.29
		Contractors Margin	18.0%			3,145.18
		GST	10.0%			2,053.83
		<b>Front Entry Stair</b>				<b>22,701.84</b>



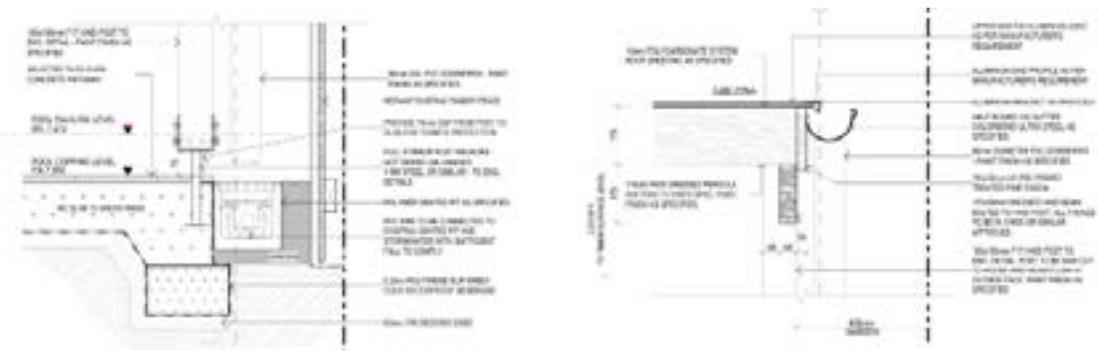
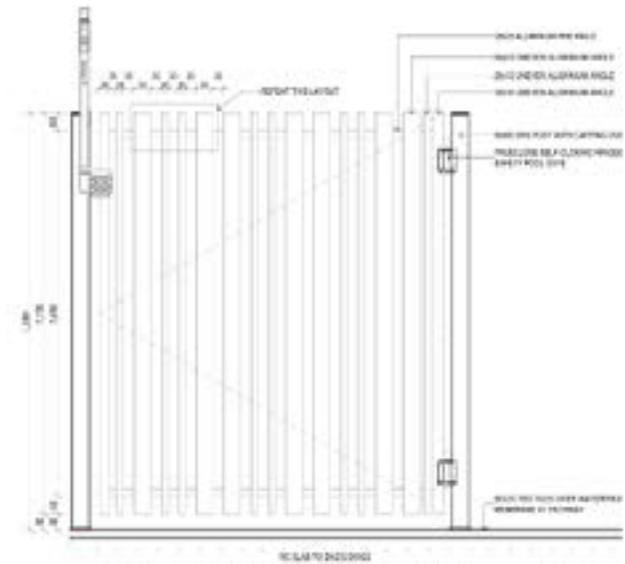
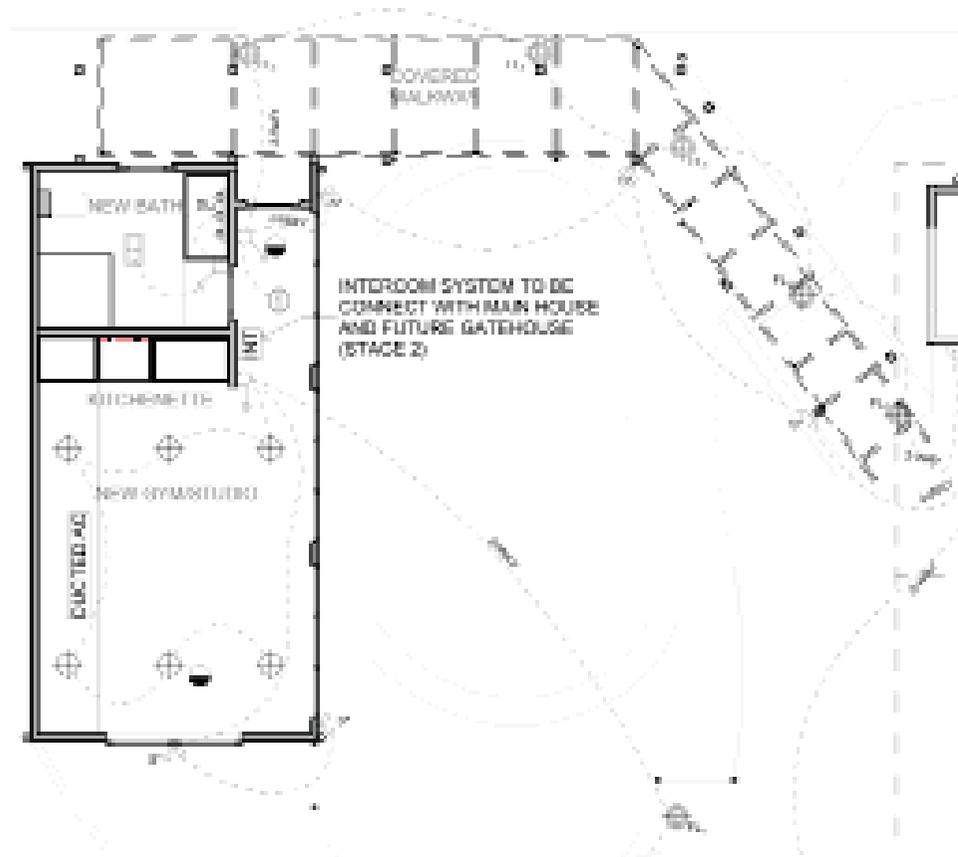
# Platinum

## Concept Revisions to Build Ready

(Steps 3 - 6 Part 1)

### Step 5: Construction Documentation

(Including original construction details, electrical and lighting layouts and reflective ceiling plans and specifications.)



Platinum

Concept Revisions to Build Ready

(Steps 3 - 6 Part 1)

Optional detailed costing by Professional & Independent Cost Planner  
 Either Quantity Surveyor or Estimator

CONSTRUCTION WORKS - ESTIMATED COSTS - BA		\$	\$/m2 GFA
Documents	Refer to Schedule of Documents used in the preparation of this estimate		
<b>MID RANGE STANDARD SPECIFICATION - BA</b>			
<b>1 EXTERNAL WORKS</b>			
	Pergola and Entry Slab	13,000	
	Front Entry Stair	22,700	
	Eastern Staircase	32,300	
	Address/Drying Area	128,300	680
	Outdoor Kitchen	60,300	3,230
	Covered Terrace	110,400	5,807
	Outdoor Lounge	31,300	1,650
<b>HOUSE EXTENSIONS AND RENOVATIONS</b>			
2	Existing House External Alterations	254,300	
3	New Additions	118,800	
4	Ground Floor Alterations	425,300	4,887
5	First Floor Alterations	342,700	3,822
6	Dual Living Unit and Garage	391,300	3,321
	New Pathway with Gates and Screen Walls	24,700	
<b>7 POOL HOUSE AND TERRACE</b>			
	Pool Deck	182,200	2,847
	Outdoor Lounge and Barbecue	128,500	2,858
	New Bar, Lounge, Billiards	131,700	2,192
	Upper Ground New Storage, WC and Bathroom	39,300	2,895
	Subtotal	2,367,800	
	Allowance for Final Design Development	50,000	
<b>TOTAL ESTIMATED COST - JUNE 2021</b>		<b>2,417,800</b>	<b>3,657</b>
Exclusions		\$a	
Client's Contract Variation Contingency		\$a	
Structural Engineers Inspections		\$a	
Consultant Fees		\$a	
Local Authority Headworks/DA and BA Charges		\$a	
Air conditioning additions or alterations			
Fire Axi Treatment if required			
Interior Curtains and Blinds/Loose Furniture and Fittings			
<b>Note</b>			
No Allowance has been made for additional scope that may be requested by the client, and we recommend that the client should consider whether it would be prudent to allow for this separately.			

Element	Item	Description	Quantity	Unit	Rate	Cost
					\$	\$
<b>EXTERNAL WORKS</b>						
		Pergola and Entry Slab				
		Demolitions				
		Demolish part of existing driveway	1	Item	650.00	650.00
		Structure				
		Supply and place concrete 32Mpa in slab on ground 105mm thick	1	m <sup>3</sup>	340.50	340.50
		Concrete pumping	1	m <sup>3</sup>	70.00	70.00
		Rebar finish concrete slab	13	m <sup>2</sup>	7.00	91.00
		S102 fabric reinforcement in slab	13	m <sup>2</sup>	7.18	93.39
		Pergola				
		450 Dia bored pier 1000 deep	10	No	200.00	2,000.00
		Timber post, 100 x 100	24	m	50.00	1,200.00
		200 x 50 beam	8	m	55.00	440.00
		200 x 80 pergola post	90	m	55.00	4,950.00
		Paint pergola columns and beams	20	m <sup>2</sup>	35.00	710.00
		Building Services				
		External LAD lighting	1	Item	900.00	900.00
		Builders work in connection with services installations				45.00
		Subtotal				8,360.00
		Sundries	2.5%			208.91
		Contractors Preliminaries & Supervision	17.0%			1,400.27
		Contractors Margin	10.0%			1,800.01
		GST	10.0%			1,195.91
		<b>Pergola and Entry Slab</b>				<b>13,845.90</b>
		Front Entry Stair				
		Demolitions				
		Remove existing tiles	60	m <sup>2</sup>	40.00	2,400.00
		Demolish roof at top of existing stairs	1	Item	550.00	550.00
		External tiling				
		Tiling to treads and risers of front entry stairs (PC \$44.09/m <sup>2</sup> Supply)	60	m <sup>2</sup>	153.00	9,180.00
		Wall Finishes				
		Coloured render to staircase walls, single coat	25	m <sup>2</sup>	75.00	1,875.00
		Subtotal				14,984.00
		Sundries	2.5%			369.60
		Contractors Preliminaries & Supervision	17.0%			2,541.28
		Contractors Margin	10.0%			3,148.18
		GST	10.0%			2,953.80
		<b>Front Entry Stair</b>				<b>22,701.86</b>

# Platinum

## Concept Revisions to Build Ready

*(Steps 3 - 6 Part 1)*

### Step 6 (Part 1): Tender (With 3 Builders or Negotiation Process)

Following construction documentation, our tender and contract negotiation process will aid the selection of your project's builder. In Tender, this is the stage where we really make life easier for you. Finding, negotiating and liaising with builders can be stressful. As part of this service we:

- Arrange for tenders from suitably qualified builders
- Negotiate with builders on your behalf to get the best terms and pricing
- Help you assess each tender and award the project to the winning builder
- Prepare a contract on your behalf
- Arrange for signing and execution of contracts by all parties

#### Proposed Alterations to Your Residence

Tender Outcome and Review

Example: Renovation Project Tender  
from Real Tender Results

- **Builder 1:** \$256,135.00
- **Builder 2:** \$279,640.00
- **Builder 3:** \$288,273.03

#### Proposed New Residence

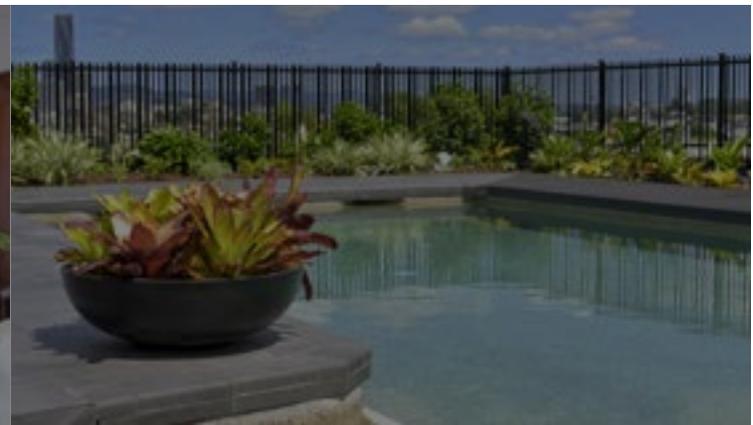
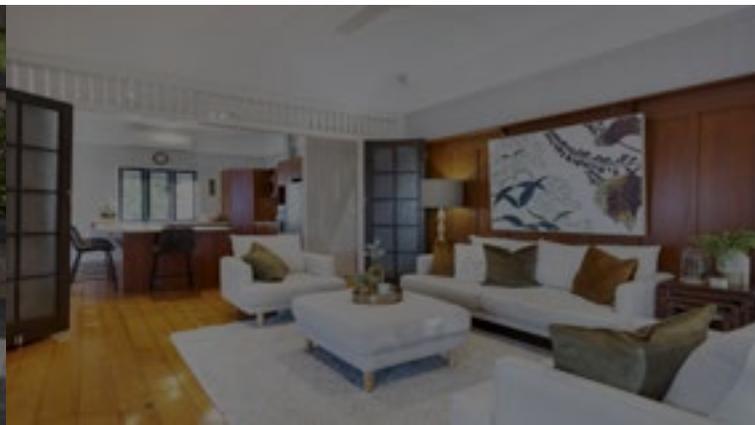
Tender Outcome and Review

Example: New Home Project Tender  
from Real Tender Results

- **Builder 1:** \$847,062.85
- **Builder 2:** \$876,000.00
- **Builder 3:** \$959,478.00
- **Builder 4:** \$1,166,099.00

# Additional Services

*Available for  
Gold & Platinum*





*Additional services*

Available on Gold & Platinum

# Interior Design (Cont.)

SH-04 FIXTURES & FITTINGS SCHEDULE							
Code	Item	Location	Description	Finish	Image	Supplier Details	
SH	Overhead and hand shower ensemble	Ensuite	Range: Abey 'Curve' chrome twin shower. Code: RHB07	Finish: Chrome finish.		Stocks Appliances Contact: Ben Stevens Em: ben.stevens@stocksappliances.com.au Ph: 07 3862 3855	
Code	Item	Location	Description	Finish / Colour	Size	Image	Supplier Details
<b>FLOORING</b>							
VL1	Kamdean Vinyl flooring	Interior Flooring Generally	Range: Kamdean LooseLay Longboard Vinyl flooring. PU Coated.	Colour: Mountain spotted gum. Code: LLP316	Plank Size: 1500mm x 250mm. Thickness: 4.5mm		Kamdean design flooring Contact: Tim Hunting Em: timr@kamdean.com.au Ph: 0413 444 802
<b>ENSUITE</b>							
DR	Vanity drawer runners	Ensuite vanity drawers	Blum Tandem drawer system with blumotion hardware generally. Drawers inners and side gables to be JF5A finish to match drawer face. Handles to be sharknose finger pull handles integrated into the cabinetry design.	Colour: Polytec 'Florentine Walnut'			Blum Contact: 07 3135 9490

## Additional services

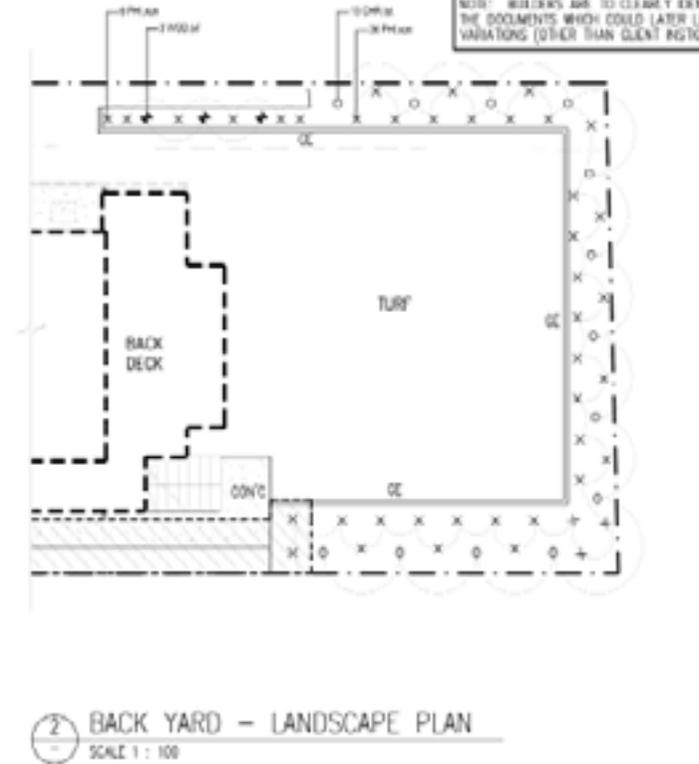
Available on Gold & Platinum

# Garden Plant Selection & Layout

One of the big advantages we offer to our clients is an all-encompassing design service beyond simple architecture. It is important that all aspects of a project complement each other; therefore, we also offer the following in-house services:

Softscape gardening design:

- Live horticultural elements of the landscape
- Garden plant selection and planting placement
- Soil, mulch and colour selection to complement the home's exterior



## Additional services

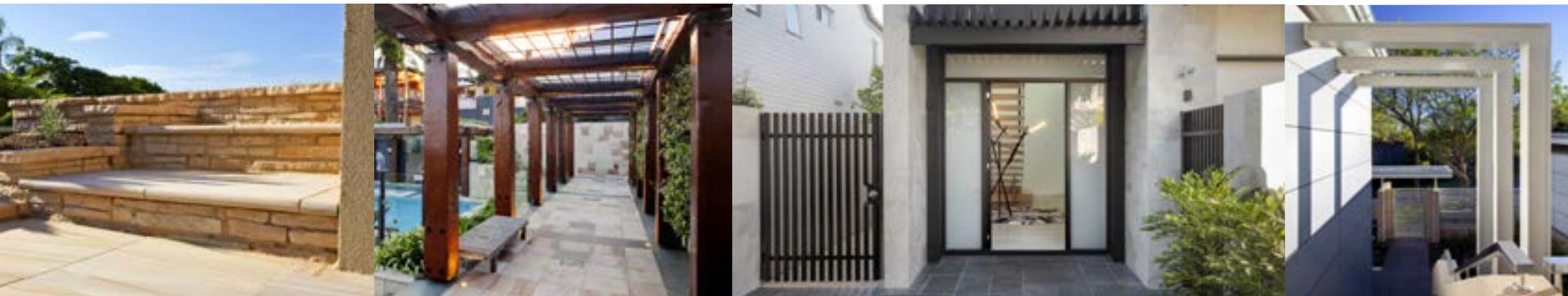
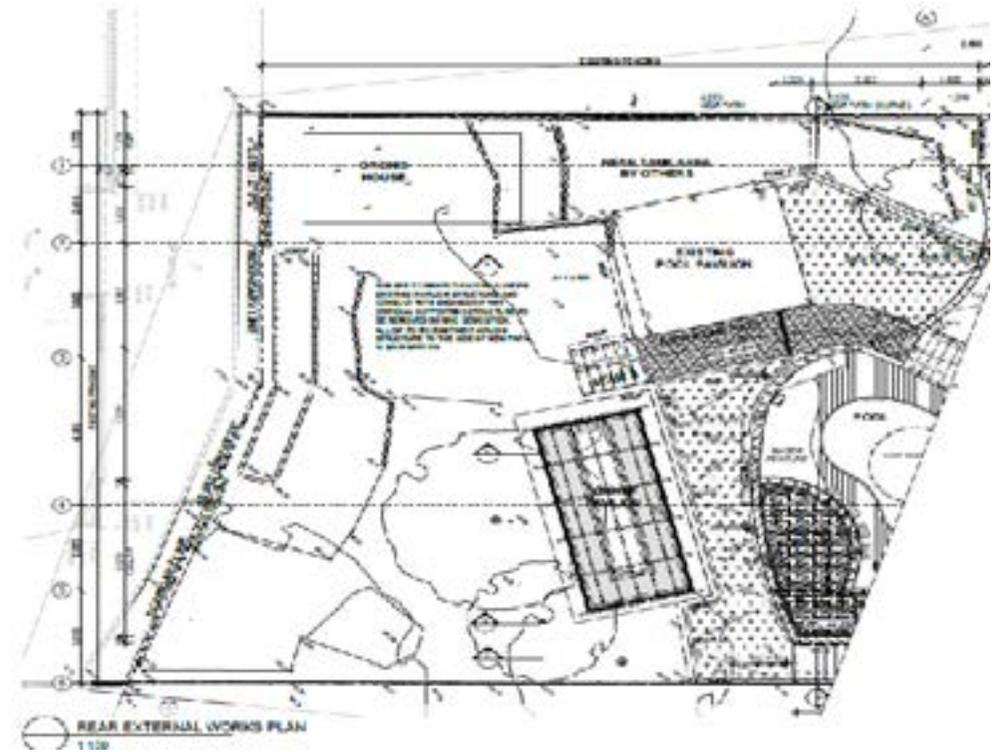
Available on Gold & Platinum

# Landscape Design

External areas that connect with the rest of your home are vitally important. Landscaping and external works to complement your architectural building work will provide an integrated, connected result throughout. It is important that all aspects of a project complement each other; therefore, we also offer the following landscape in-house services:

Hardscape and external works design:

- Landscape design construction drawings and schedules
- Retaining walls, fencing, gatehouses, pools, water features and external entertaining spaces.



## Additional services

Available on Platinum

# Staging

Depending on your project's budget and timeline, you can choose to build your project in stages rather than in one go. We will create a masterplan to renovate and build towards your ultimate home in stages to meet your budgetary requirements. This allows your home to grow as your budget grows.

### Benefits of Staging:

- Keeps your repayments at a manageable level
- Helps you avoid the risk of overcapitalising
- Avoids additional expense and poor design with a structured masterplan for the build
- Have a home that still looks complete and feels comfortable, even between building stages and project completion
- Gives you flexibility to make changes along the way if your lifestyle needs and requirements change
- Coincide and prioritise the building stages with the various stages of your life
- Gives you the improvements you may not have been able to afford during the initial build
- Get your ultimate dream home in a way that you can still afford



# Additional services

Available on Gold and Platinum

## Cost Management Services

This cost management service is a detailed estimate optional service where we offer full project management of your client's project cost.

Our detailed extent of works document and detailed costings consider all aspects of your project. Our detailed project costings are completed by our professional Quantity Surveyor. This service is strongly recommended for clients who are very budget conscious.

CONSTRUCTION WORKS - ESTIMATED COSTS		\$
Documents Refer to Schedule of Documents used in the preparation of this estimate		
DD DOCUMENTATION - MID TO UPPER STANDARD SPECIFICATION		
<b>A. Front Garden Works</b>		140,212
Front Fence and Entry Path	Front Garden Works	140,212
<b>B. Front Yard External Works</b>		76,564
Front Yard External Works		76,564
<b>C. Side External Works</b>		172,218
Western Yard		22,814
Eastern Yard		47,112
Carport		47,791
Rear Eastern Yard		35,501
Side External Works		172,218
<b>D. Alterations to Existing House</b>		392,444
Existing House		48,349
Kitchen and Rear Outdoor Room		346,890
Laundry		15,805
Alterations to Existing House		392,444
<b>E. Pool Area and Covered Terrace</b>		396,345
Pool Area		274,411
Covered Terrace		121,934
Pool Area and Covered Terrace		396,345
<b>F. Cellar/Library</b>		193,262
Cellar/Library		193,262
<b>G. Courtyard</b>		126,729
Courtyard		126,729
<b>H. Reinforced Pond and Tree Tower</b>		227,717
Reinforced pond		119,268
Tree Tower Optional		108,449
Reinforced Pond and Tree Tower		227,717
<b>I. Back Garden Works</b>		76,426
Backyard works	Back Garden Works	76,426
<b>J. Remedial Work - by independent Contractor</b>		7,790
Repairing of existing house exterior		7,790
Remedial Work - by independent Contractor		7,790
Cost reduction if all savings adopted - refer separate summary		- 348,880
<b>ESTIMATED PROJECT COSTS</b>		<b>\$ 1,728,731</b>
<b>CLIENT COSTS</b> Refer Documents and Notes		
Note - This estimate has been prepared from DD drawings and is therefore to be considered as approximate only at this stage		

### 1.0 Extent of Works Schedule

#### 1.1 Extent of Work & Required Isolated Cost Centres

Cost Centre	Details
<b>1. Site levelling and boundary retaining walls</b>	<ul style="list-style-type: none"> <li>New brick retaining walls on North, South and West bounds</li> <li>Fill up where needed and Level land surface with slight slope Street for drainage purposes, as per drawings.</li> </ul>
<b>2. Front Fence/walls with gatehouse &amp; Entry Path</b>	<p><b>Demolition</b></p> <ul style="list-style-type: none"> <li>Remove existing fencing.</li> </ul> <p><b>Fence/wall</b></p> <ul style="list-style-type: none"> <li>New 1800mm stone cladbed brick wall as per drawings.</li> <li>New 1900mm powder coated aluminium fence on powder coated aluminium rails, as per drawings.</li> <li>New 136 marble grade letterbox and stainless aluminium fit</li> <li>New stone cladbed brick pillars and low brick walls as per detail</li> </ul> <p><b>Garden Outside Gatehouse</b></p> <ul style="list-style-type: none"> <li>200 mm kerb garden edge outside gatehouse, as per detail</li> <li>Regrade garden with clean fill and 400mm deep premium sand and trap pipe lines mesh.</li> <li>Automatic irrigation system</li> </ul> <p><b>Entry Path</b></p> <ul style="list-style-type: none"> <li>New concrete path at front entry.</li> </ul> <p><b>Gatehouse &amp; Gate</b></p> <ul style="list-style-type: none"> <li>Gatehouse framing to be 180x50x3mm aluminium RHS with recessed joint smooth.</li> <li>Roof to gatehouse to be 3mm "U" shaped steel sheet to fit to posts - Fold at the end with dripping nose, as per detail.</li> <li>Soffit to gatehouse to be 3mm steel sheet.</li> <li>Colourbond cladding/trapping to gatehouse</li> <li>Custom powder coated aluminium gate to gatehouse - 40x2 aluminium frame and two 40x20mm frame rails fixed to the 3 of the gate. Front Face of gate to be 40x20mm vertical slats bottom with an evenly spacing of approximately 30mm. Gate self-closing hinges and lock box lever handle with key on top and gate release.</li> </ul> <p><b>Driveway Gate</b></p> <ul style="list-style-type: none"> <li>Custom (colour) powder coated aluminium sliding gate to 1 - 40x2 0mm aluminium frame and two 40x20mm frame rails fixed to the back face of the gate. Front Face of gate to be 40x20mm aluminium panels with an evenly spacing of approximately 30</li> </ul>

Ref	Item Description	Provisional Sum Incl. GST
<b>1.2 Schedule of Provisional Sums</b>		
An amount of money included in the contract documents to cover works proposed as part of the contract for which full information cannot be made available prior to the calling of tenders and letting of a contract. A provisional sum includes labour, materials and all costs and margins.		
	<b>Roof Sheeting</b>	
	Supply of Klip-Lok 700 H-Strength Metal Roof Sheeting - Coolmax Colour	\$40/m <sup>2</sup>
	Supply of Straight Flashing	\$35/m
	Supply of Curve Flashing	\$120/m
	Install by recommended roof installer	Total Allow for \$21,650
	<b>Wall and Cladding</b>	
	Supply of Brnwaun's Linear Beech (Beds)	Allow for \$45.65/m <sup>2</sup>
	Supply of Concrete Surround Base (White) Cladding as per elevations	Allow for \$32.82 per sheet (3000x1200x8mm sheet)
	Supply of panel rib Cladding	Allow for \$28.60/m <sup>2</sup>
	Supply of Dark Pine Point Stone Cladding as per elevations	Allow for \$17.80/m <sup>2</sup>
	Installation of Stone Cladding	Allow for \$120.00/m <sup>2</sup>
	<b>Tiles / Flooring / Decking</b>	
	Supply of Metro Tiles Ultracolor Portland Floor Tiles 300x300 (P5 Slip rate) as per floor plans	
	Supply and install of Vinyl Flooring as specified (National Flooring Distributors)	Allow \$55/m <sup>2</sup>
	Optional alternative	Allow \$75/m <sup>2</sup>
	Supply and install of Vinyl Flooring as specified (Kierdown)	
	Entry to garage	
	<b>Windows and doors</b>	

## Additional Services

Available on Platinum

# Contract Administration

Contract Administration sees us project manage the construction phase, ensuring the project's completion under the terms of the contract. This is to preserve design intent and aesthetics of the build.

This is where we act on your behalf to ensure that the project is completed in accordance with the terms and conditions of the contract. As part of this service we:

- Visit the construction site periodically to ensure correct material selection, design integrity and quality of work
- Report back to you regarding progress and standard of work
- Answer any questions or address any concerns you, the builder, or any specialist consultants have, or assess construction progress and issue progress certificates
- Release progress payments upon satisfactory completion of stages
- Liaise with the builder on your behalf on such things as variations, delays, material unavailability, etc.
- Assess and report back to you regarding any requests by the builder for variations or time extensions
- Make any required adjustments to monetary sums such as prime costs and provisional sums
- Notify all parties regarding any defective or incomplete work
- Assess practical completion and issue notice of practical completion
- Carry out defect inspections.



# Stress Free Solutions

**“Dion and his team not only helped us achieve a beautiful family home, they also gave us a peace of mind ...”**

**Matthew & Angela • SPRINGWOOD, BRISBANE**

Building or renovating can often seem stressful. Things like dramatically sloping blocks, limited space or tired architecture that devalues a property are just a few examples of things that can cause frustration and anxiety.

In just one consultation we can present you with solutions that will leave you feeling confident and inspired. We can overcome these challenges and help take the worry out of your project.

One of our great strengths is taking the complicated and making it simple, turning problems into solutions. Our vast experience and design skill allows us to find effective ways to fix even seemingly complex challenges.

Our team has a wealth of experience in both design and construction, enabling us to offer you practical, intuitive and cost effective solutions.

Working with dion seminara architecture allows you to relax and enjoy the process, safe in the knowledge that your project will meet your stated objectives.



*Aesthetic form balance, proportion and function*

Ensuring your home is your style, your space,  
your feeling and your sanctuary



**“My goal for my clients is to ensure they have a great living environment. I am passionate about what I do and I am a perfectionist. I want to ensure you have the best-designed outcome that sits within your means.**

**As I say, God is in the detail...”**

**Dion Seminara • PRINCIPAL ARCHITECT**

*We look forward to working with you.*

07 3899 9450

[dsarchitecture.com.au](http://dsarchitecture.com.au)

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